

90 UNITS

CC camera surveillance

Car parking for each flat

RO Purified Drinking Water



PRIDE IN EVERY ESSENCE OF LIFE

SALIENT FEATURES

- + 100% Vaasthu
- + No Common Walls
- + Landscaped Gardens
- + Children's Play Area
- + Ample Car Parking
- + Intercom Connected to All Flats
- + Sound Proof Generator
- + 4 Lifts
- + Adjacent to Vakalapudi Main Road



indraprastha

AFFORDABLE & EXCEPTIONAL

SPECIFICATIONS

STRUCTURE
Isolated footings & R.C.C. Framed structure.

WALL
AAC/Clay Bricks (9" for outer walls & 4" for inner Walls).

PLASTERING
Cement Mortar in Sponge finish.

DOORS
Main Door: Polished Teak wood frame & shutter with Brass H/w.
Internal Doors: Country wood frame & flush door shutter

WINDOWS
UPVC windows with plain glass and provision for safety grills.

PAINTING
External walls with cement based paints and wood work with enamel paint. Internal walls are smooth finished with wallcare base and top finish with two coats of emulsion paints.

FLOORING
Vitrified Tile flooring in living, dining and bed rooms.
Ceramic flooring in utility, toilets and balcony.
Anti Skid tiles in lobby & common areas.

KITCHEN
Kitchen Platform shall be with black granite on one side of the room with Stainless Steel sink and tile dadoing upto 24" above platform.

TOILET
European W/c type closets fitted with required taps, valves etc. Provision for one electrical geyser point together with necessary taps for water supply, dadoing up to 7' height.

ELECTRIFICATION
Concealed copper wiring for three phase power supply shall be provided as per required modular switches and other points will be provided on each board. Provision for modern appliances such as Cable TV, Fridge, Computer, Telephone, etc., points will be provided.

CPVC
Ashirvad / Astral pipelines for water supply arrangement wherever necessary to all flats.
Provision for washing machine in Utility area.

GENERATOR
Generator Back-up for lifts, common lighting.

LIFT
6 passenger lifts - 4 Nos. (Johnson/OTIS/KONE).

SECURITY
Security system CCTV at required locations

Note: Registration, GST, any other taxes, electricity connection, municipal water, piped gas and other applicable charges are extra.

Corporate Office

Indraprastha Infra
Ground Floor Indraprastha Tejas,
Opp. D-Mart, Jayendra Nagar,
Kakinada - 533003.

Site Address

Sy. No. 192/3,
Near Panchaythi Office,
Vakalapudi,
Kakinada-533005.

A Member of
CREDAI
KAKINADA

Mob.: +91 98855 55766/94925 12081/99499 33499
E-mail: info@indra-prastha.com
www.indra-prastha.com

Consulting Engineers

Venu Associates
Planners, Architects & Consulting Engineers
D.No. 2-21-4/1, Forest Office Road,
Madhava Nagar, Kakinada - 3.
Mob.: +91 9848258444
E-mail: venugopalarao@perla@gmail.com

Structural Consultants

Ch. Venkata Rao,
Consolidated Concept Consultants,
#106, P&T Colony, Tirumalaghyery,
Secunderabad.
Ph: +91 40 27742230

Branding

Concepts
Hyderabad.
Mob.: +91 9849192657

GUDA Permit No :
1104/0018/B/KKDRMDL/Vklp/2019

Note: This brochure is only a conceptual presentation of the project and not a legal offering. The promoters reserve the right to alter and make changes in elevation, specifications and plans as deemed fit.

indraprastha



indraprastha
—elevated apartment living @ kakinada—

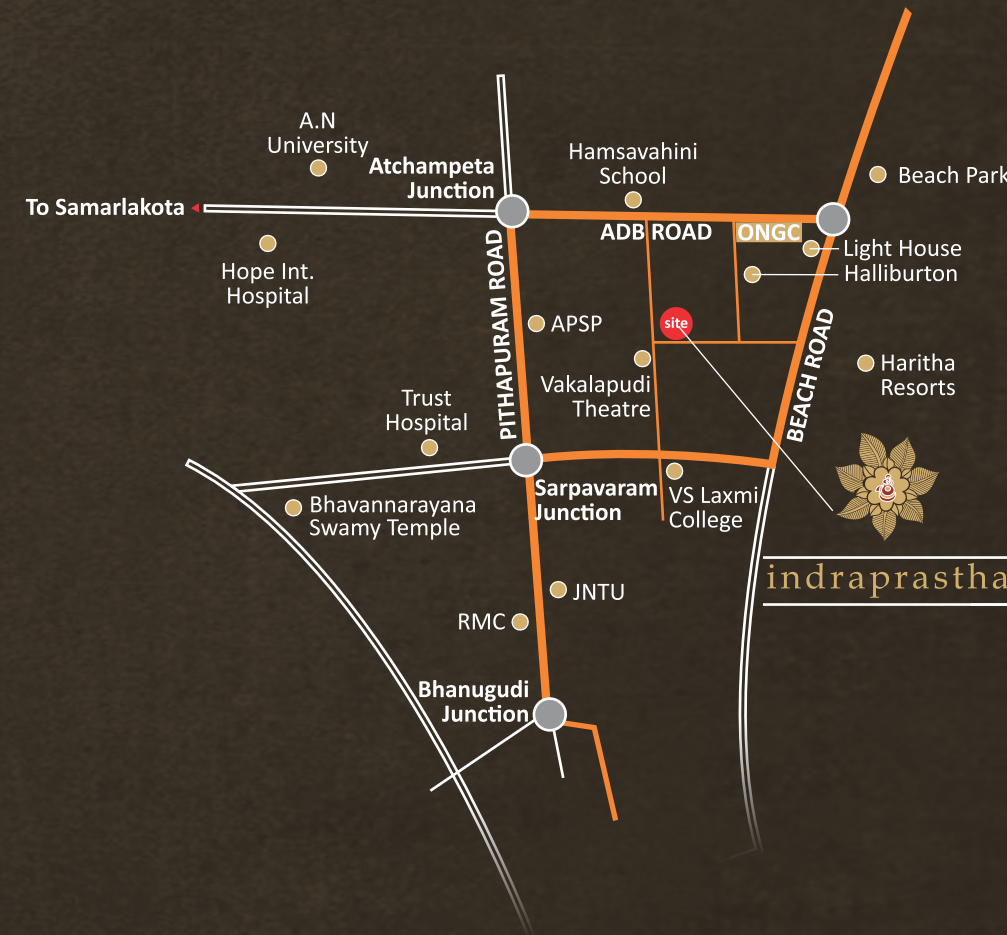
PERFECTLY BALANCED LIVING
AT THE
BEST LIFESTYLE APARTMENTS
Now! AFFORDABLE

**AFFORDABLE
& EXCEPTIONAL,
LUXURY LIVING
AT THE BEST LOCATION.**

THE NEIGHBOURHOOD HAS AN ATMOSPHERE OF ITS OWN –
A STYLE, FLAIR AND QUINTESSENTIAL
ELEGANCE THAT IS QUITE SIMPLY UNIQUE.



indraprastha



30FT WIDE ROAD



80FT WIDE ROAD

**EAST BLOCK
AREA STATEMENT
(AREAS IN SFT.)**

Facing	Flat	Carpet	Plinth	SBUP
East	1	678	800	1000
East	2	808	1000	1250
East	3	659	800	1000
East	4	621	800	1000
East	5-8	618	792	990
West	9	648	800	1000

**TYPICAL
FLOOR PLAN**



**WEST BLOCK
AREA STATEMENT
(AREAS IN SFT.)**

Facing	Flat	Carpet	Plinth	SBUP
East	1	678	800	1000
East	2,3,4	659	800	1000
East	5	621	800	1000
West	6,7	618	792	990
West	8	786	968	1210
West	9	648	800	1000



Flat No. 3 East - 2BHK
1000sft.



Flat No. 7 West - 2BHK
990sft.